



Three Year Capital Plan Report

Sturgeon Public Schools Three Year Capital Plan Report

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1. Overview

Between July 2019 and March 2020, Sturgeon School Division engaged START Architecture (formerly ONPA Architects) to undertake a Facility Plan to examine the conditions which influence the use of the existing facilities in Sturgeon Public Schools where issues related to student population growth and educational program needs were concerned.

The components of the study which form its key elements consisted of the following:

- 1. Facility Evaluations:** These were carried out in order to make assessments of existing space utilization and to provide recommendations where program needs are concerned.
- 2. Capital Plan:** A proposal for a submission to Alberta Education for funding has been prepared as part of the study. This will reflect the major recommendations of the study.
- 3. School Input:** Site visits were conducted at each of the school facilities and information received has been incorporated into the plan.
- 4. Model for the Future:** The study has embodied a series of processes which will be of value in future years where decisions related to space utilization are concerned. These include:
 - Capital Plan submissions
 - Enrolment statistics
 - Space data recording for facilities management
 - Community input

In a time of limited resources there is an increasing expectation on School Boards across the Province to assess facility needs in considerable detail as well as review all possible alternatives for delivering education programs and accommodating students. These options are many and varied.

The principle objective of the study was to assist Sturgeon Public Schools in making choices for the future by addressing the issue of student population as it relates to spaces, programs and enrolments.

**PROPOSED 3 YEAR CAPITAL PLAN: STURGEON PUBLIC SCHOOLS
PROJECTS IDENTIFIED FOR CAPITAL FUNDING FOR NEW CONSTRUCTION,
MODERNIZATION, PRESERVATION AND STUDIES**

NEW CONSTRUCTION, MODERNIZATION, PRESERVATION AND STUDIES

SCHOOL	2021-2022	2021-2022 Priority	2022-2023	2022-2023 Priority	2023-2024	2023-2024 Priority
Legal, AB	Classroom Space	1				
Morinville Public School	Modernization / Replacement	2				
Landing Trail School	Modernization	3				
Namao School			Addition of 2 Modulars	1		
Sturgeon Heights School			Modernization / Addition	2		
Gibbons School					Modernization	1
Bon Accord School					Modernization	2

**PROPOSED 3 YEAR CAPITAL PLAN: STURGEON PUBLIC SCHOOLS
PROJECTS IDENTIFIED FOR CAPITAL FUNDING FOR PORTABLE REPLACEMENTS
AND RELOCATIONS**

PORTABLE REPLACEMENTS AND RELOCATIONS

SCHOOL	2021-2022	2021-2022 Priority	2022-2023	2022-2023 Priority	2023-2024	2022-2023 Priority
Namao School			Replace 2 Modulars	1		
Redwater School			Replace 2 Modulars	2		

2. Capital Requests - School Summaries / Evaluations

Priority #1 - Additional Classroom Space in Legal, AB

Instructional space in Legal is an important priority for the Board of Trustees. In 2012, the Alberta Government, through the St. Albert and Sturgeon Valley School Districts Act, directed Sturgeon Public Schools to provide Public Education to students residing in Legal (and area) and Morinville (and area). Unfortunately, this direction did not include the provision of instructional space in Legal, AB. In the absence of instructional space in Legal, Sturgeon Public Students face long bus rides to access Public Education.

Priority #2 - Morinville Public School, Morinville, AB

With continued growth and large enrolments and utilization rates in recent years, the school required a significant number of portables and modular classrooms to be added to the site. The result is a very large, spread out, and poorly functioning school within an increasingly tight site. Although the opening of Four Winds Public School resulted in the transfer of student in grades 5-9, the student population at Morinville Public School continues to grow. A major reconfiguration or replacement of the school and site is required.

Priority #3 - Landing Trail School, Gibbons, AB

The site has significant issues regarding traffic circulation. There is congestion with buses and parent vehicles due to narrow lanes and with the location of the school which requires all traffic to turn 180 degrees. There is inadequate staff parking and the gravel parking lot to the West has poor drainage and rutting.

The modulares on the East side of the school are in poor condition and require replacement. With utilization reaching nearly 90%, congestion in a number of interior spaces is noted. Congestion at washrooms, physical activity scheduling has been noted. The school has a high number of severe coded students and is in need of spaces to accommodate programming. In addition, the school has a number of early years students, some as young as 2 1/2 years old so more change facilities are required.

STURGEON PUBLIC SCHOOLS
PRIORITY #2 - MORINVILLE PUBLIC SCHOOL
 10020 - 101 Avenue, Morinville, Alberta, T8R 1L5



Year Built:	1957- Original Building
Additions:	1966 - Addition 1976 - Addition 1985 - Addition and Modernization 1991 - Addition (6 portables) 2015 - Addition (6 Portables) 2016 - Addition (9 Portables) 2017 - Addition (3 Modulars)
Grades Served:	K-4
Permanent Classrooms:	17
Portable Classrooms:	16
Gross Area:	5,060 m2
Capacity:	663
Enrolment:	601
Utilization:	91%
Instructional Program:	Basic academics in English and French (K-4) plus computers, music, art, construction, foods and fashion.
Building Deferred Maintenance: (Aug. 29, 2012)	\$841,696
Building FCI: (Aug. 29, 2012)	6.26% (Good)
Site Deferred Maintenance:	N/A
Parking Space Requirements	65 Required, 105 Currently Available



PROPERTY LINE

UTILITY RIGHT OF WAY

NORTH



The location of the administration area in relation to the front entrance is good but visibility could be improved to make the entrance more welcoming and improve supervision.



The large footprint that has developed over time has created a large number of alcoves which causes issues for supervision and security.



The gym is sunken in relation to the rest of the floor plate. A lift is required for barrier-free access.



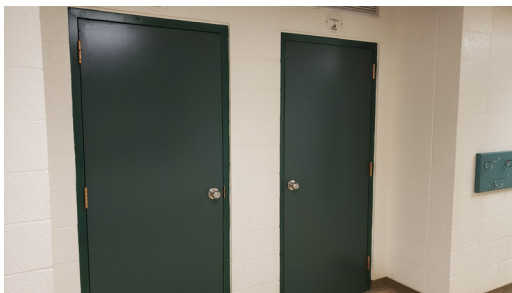
Barrier-free access needs to be improved for all washrooms in terms of stall size, counter heights and clearances, and urinals.



The gym does not have a divider curtain, in spite of the need for two classes using the space at the same time.



A large number of classrooms have fabric over the light fixtures or have hanging plug-in lamps with extension cords in the ceiling spaces. This is done to provide a variety of lighting levels but is against code and are to be removed.



Most classrooms have solid doors with no sidelites. This creates a closed off classroom from the corridor.



Breakout rooms and counselling spaces are required in the school. The school currently uses the boot room between the school and the modulares as breakout space.

SUMMARY STATEMENT

The school has seen continual growth with modulars in order to house two functioning schools. With the opening of Four Winds, a modernization/replacement is needed.

OBSERVATIONS, COMMENTS, AND RECOMMENDATIONS

- 1. Modular Classrooms:** A number of the older portables are no longer in good condition and now that the students have moved over to Four Winds, these units are no longer used. The units are approved for demolition and the remaining units should be moved closer to the core of the school.
- 2. Electrical Systems:** It was noted that the existing fluorescent lighting should be replaced with LED lighting. This will create better lighting for students and staff with more consistent lighting control and the ability to dim lighting as required. Currently a number of classrooms have fabric covering the light fixtures.

A number of classrooms have plug-in light fixtures with multiple extension cords in the ceiling spaces. This is against code and standards, the light fixtures should be removed.

- 3. Interior Circulation:** It was noted the entrances are congested due to the number of students who access this spaces along with boot racks and getting changed into outdoor clothing. While it is difficult to address this without a major modernization to the building, there is potential to utilize more entrances for student access.

It was mentioned that the U-shaped configuration of the school is challenging for movement through the school and with supervision.

There is an issue with the sensory room being near the library. Students who use this room can be quite loud which travels into the surrounding classrooms.

The community has access to the gym. Due to the configuration of the school, the community has access to the entire school after hours. Lock off points should be installed in the corridors to improve security.

Due to the expansion of the school with portables over time, the school is very spread out in its footprint. This makes for long travel distances which is felt more acutely due to the grade configuration being early childhood services to grade 4. The reduction in the number of modulars to match the current utilizations will help greatly with this.

- 4. Site Amenities:** It was noted that parking is deficient and that parking is taking place in the bus lane and on the street. The addition of the parking on the East side of the site has not alleviated the issue. It was noted that there are enough parking spaces on this side of the building but circulation is an issue and should be reconfigured.

The bus lane is not large enough to accommodate the number of buses coming to the site. There are currently 9 buses at the site.

Due to the footprint of the school being spread out and added to over time, there are a large number of alcoves that make sightlines for supervision a challenge.

There are chain link fences around the playing fields which helps with student safety but it was noted that the school is close to major roads in the Town which is not desirable. It was mentioned that the chain link restricts access to the play areas.

There is a site sign close to the street for the school but there is no signage on the school near the main entrance indicating the name of the school.

- 5. Administration Areas:** The staff work room is undersized and there is inadequate storage. Additional spaces are required for students during recess, and for counselling. The administration area should be reconfigured and expanded.

The location of the administration area in relation to the front entrance is good but visibility could be improved to

make the entrance more welcoming and improve supervision.

- 6. Barrier-Free Accessibility:** There is a requirement for more change tables for younger students. The junior headstart program is in the school which has specific requirements.

Barrier-free access needs to be improved for all washrooms in terms of stall size, counter heights and clearances, and urinals.

- 7. Interior Programming:** It was noted that there are few windows in the classrooms and over time they have lost their functionality. As part of an envelope upgrade to the school, the windows could be replaced and enlarged to improve natural lighting and natural ventilation.

It was identified that more breakout rooms are required in order to provide learning spaces for a wide variety of group sizes as well as for external support services.

It was noted that it would be convenient to have a kitchen close to the gym for community and school use.

The reverberation in the gym is quite strong and makes it difficult for using the sound system and also giving instruction. Sound baffles are required in this area to reduce the reverberation time.

The gymnasium does not have a divider curtain. Two classes are taught in the space so a separation is required.

The area for storage is close to the guidelines but it was noted that there is not enough storage. The change rooms are used as storage and a sea can is on site.

The library is in a good location at the center of the school but it is very closed off from the corridor. The library would benefit from opening up the area to the corridor and expanding it to be a true learning commons arrangement.

The staff room has been relocated to the stage area. This allows the administration area to expand and allow more space for staff.

It was mentioned that providing sinks in classrooms and additional water fountains throughout the school would be desirable.

Additional acoustic separation would be effective in preventing sound transmission to the maker space.

Additional breakout spaces and counselling spaces are required to accommodate a variety of learning group sizes. Portions of the school could be reconfigured to provide these spaces. Currently the boot room between the school and the modulars is being used for this.

The doors to the classrooms do not have windows in them or sidelites which makes them very closed off from the corridor. When the school undergoes a modernization, the doors should be replaced with units that have windows in them.

- 8. Washroom Fixtures:** existing school: 24 male / 19 female
code requirement: 14 male / 19 female

RECAPP RECOMMENDATIONS 2016 - 2025 (Lifecycle Replacement)

1. Exterior:

- Replace metal siding (1975 section)
- Replace sealants around windows and doors
- Replace windows (1966 section)
- Replace entrance doors, utility doors
- Replace roofing
- Replace downspout (1976 section)
-

2. Interior:

- Replace visual display boards
- Replace toilet/shower partitions
- Replace metal lockers
- Replace wall tile in washrooms
- Replace resilient flooring
- Replace carpet flooring
- Replace acoustic ceiling tile
- Replace fixed casework
- Replace blinds

3. Mechanical:

- Replace stainless steel sinks
- Replace showers
- Replace drinking fountains
- Replace all washroom fixtures (toilets, urinal, sinks)
- Replace isolation valves, backflow preventers
- Replace hot water pumps, hot water heaters, heating boilers (1985 renewal), chimney, air handling units, (1985 renewal), roof exhaust fans, reheat coils, vestibule heaters, finned tube radiation, pneumatic control, BMCS system

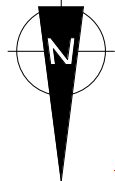
4. Electrical:

- Replace main electrical switchboard
- Replace panel boards
- Replace motor starters and accessories
- Replace fluorescent fixtures
- Replace emergency lighting battery packs
- Replace intrusion detection system
- Replace call system
- Replace fire alarm system

AREA COMPARISON CHART

MORINVILLE PUBLIC SCHOOL GRADES K-4

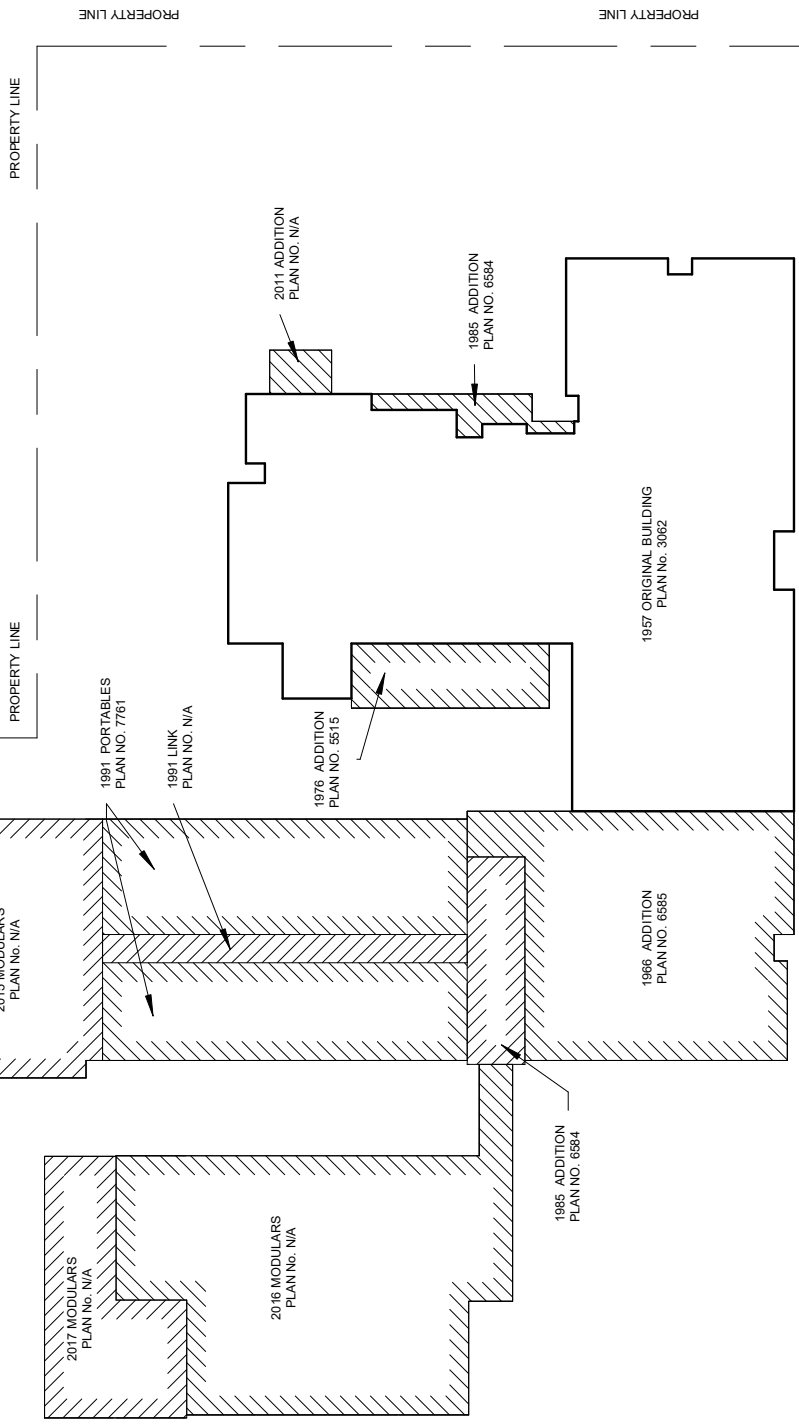
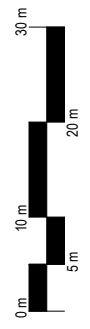
Existing School (663 Capacity)		Provincial Guidelines (650 Capacity School -Grades K-4)		Variance
Instructional Space		Instructional Space		
	Total Area		Total Area	
30 Classrooms	2074	18 Classrooms @ 80m2	1440	634.00
0 Science Classrooms	0	0 Science Classrooms @ 120m2	0	0.00
0 Science Classrooms	0	3 Science Classrooms @ 95m2	285	(285.00)
0 Large Ancillary	0	2 Large Ancillary @ 130m2	260	(260.00)
3 Small Ancillary	234.7	3 Small Ancillary @ 90m2	270	(35.30)
1 Info Services	94.4	0 Info Services @ 115m2	0	94.40
1 Gymnasium	422.8	1 Gymnasium	595	(172.20)
Gym Storage	82.8	Gym Storage	60	22.80
1 Library	181.4	1 Library	260	(78.60)
0 CTS	0	0 CTS	0	0.00
Subtotal:	3090.1	Subtotal:	3170	(79.90)
Total Instructional	3090.1	Total Instructional Area:	3170	(79.90)
Number of Instructional Spaces:	36	Number of Instructional Spaces:	28	8
Non-Instructional Space		Non-Instructional Space		
	Total Area		Total Area	
Admin/Staff Areas	214.8	Admin/Staff Areas	397	(182.20)
Wrap Around & Collaboration Space	0	Wrap Around & Collaboration Space	40	(40.00)
Mechanical & Meter Rooms	197	Mechanical & Meter Rooms	189	8.00
Recycle Room (LEED)	0	Recycle Room (LEED)	11	(11.00)
Physical Education	130.1	Physical Education	95	35.10
Circulation	816.3	Circulation	792	24.30
Wall Area	352.2	Wall Area	380	(27.80)
Storage	132.1	Storage	111	21.10
Washrooms	220.1	Washrooms	78	142.10
Accessible Washroom Facility	0	Accessible Washroom Facility	24	(24.00)
Flexible Space	0	Flexible Space	156	(156.00)
Wiring Network	26.1	Wiring Network	30	(3.90)
Total Non-Instructional	2088.7	Total Non-Instructional	2303	(214.30)
Total Area	5178.8	Total Area	5473	(294.20)
Area per Student	n/a	Area per Student	8.19	



STURGEON SCHOOL DIVISION NO. 24

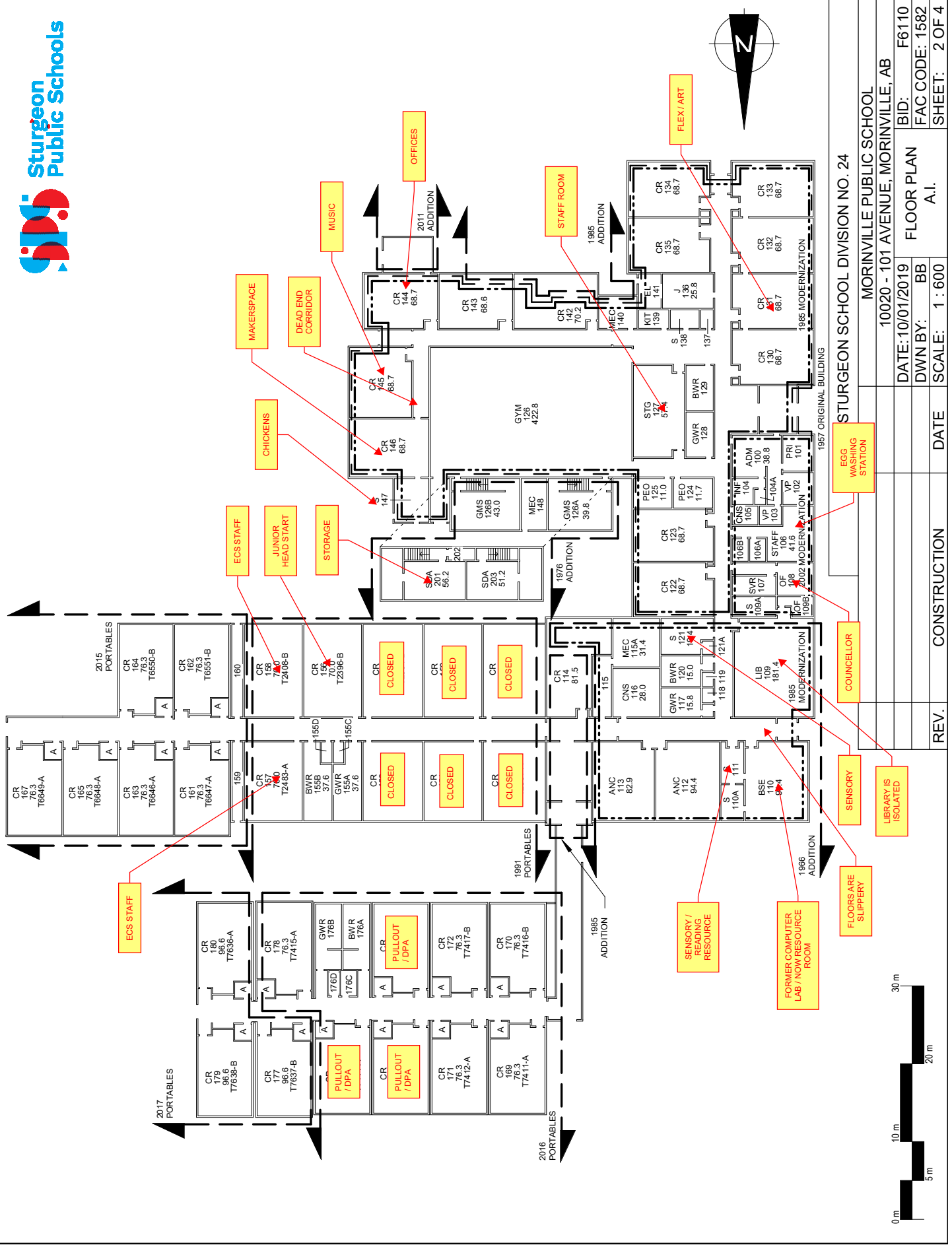
MORINVILLE PUBLIC SCHOOL		10020 - 101 AVENUE, MORINVILLE, AB	
BID:	F6110	DATE: 10/01/2019	FAC CODE: 1582
DWN BY:	BB	SITE PLAN A.I.	
CONSTRUCTION	DATE	SCALE: 1 : 750	SHEET: 1 OF 4
REV.			

LEGAL DESCRIPTION:
 LOT 2A
 BLOCK A
 PLAN 2916TR
 SE Sec 4 Twp 56 R25 W4
 MORINVILLE, ALBERTA



PROPERTY LINE

PROPERTY LINE



STURGEON SCHOOL DIVISION NO. 24	
MORINVILLE PUBLIC SCHOOL	
10020 - 101 AVENUE, MORINVILLE, AB	
BID:	F6110
DATE: 10/01/2019	FLOOR PLAN
DWN BY: BB	A.I.
SCALE: 1 : 600	
CONSTRUCTION	DATE
REV.	

STURGEON SCHOOL DIVISION NO. 24	
MORINVILLE PUBLIC SCHOOL	
10020 - 101 AVENUE, MORINVILLE, AB	
BID:	F6110
DATE: 10/01/2019	FLOOR PLAN
DWN BY: BB	A.I.
SCALE: 1 : 600	
CONSTRUCTION	DATE
REV.	

2019 STUDY RECOMMENDATIONS - MODULARS

- VERY POOR - CRUSH ON SITE, NOT TO BE MOVED
- POOR - MOVE ONLY AS STORAGE, DECANTING OR DEMOLISH ON SITE
- FAIR - MINOR UPGRADES REQUIRED
- GOOD - UPGRADE AS REQUIRED



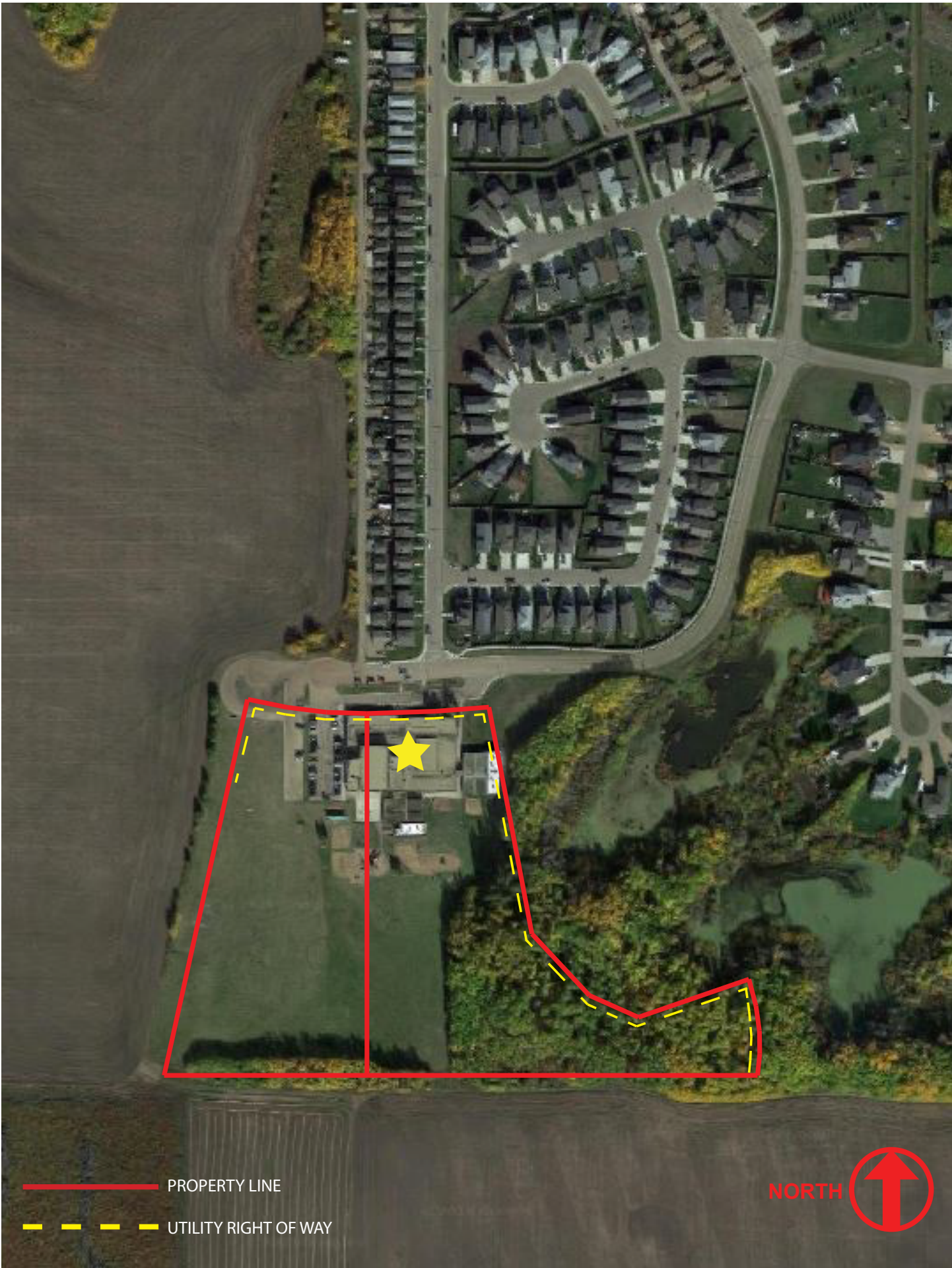
STURGEON SCHOOL DIVISION NO. 24

MORINVILLE PUBLIC SCHOOL		10020 - 101 AVENUE, MORINVILLE, AB	
REV.	CONSTRUCTION	DATE: 10/01/2019	FLOOR PLAN
		DWN BY: BB	A.I.
		SCALE: 1 : 600	
		BID: F6110	
		FAC CODE: 1582	
		SHEET: 2 OF 4	

STURGEON PUBLIC SCHOOLS
PRIORITY #3 - LANDING TRAIL SCHOOL
 5301 - 37 Avenue, Gibbons, Alberta, T0A 1N0



Year Built:	1981 - Original Building
Additions:	1977 - Addition (4 Portables) 1982 - Addition (4 Portables) 2013 - Addition (1 Portable) 2014 - Addition (2 Portables)
Grades Served:	K-4
Permanent Classrooms:	10
Portable Classrooms:	11
Gross Area:	4,370.46 m ²
Capacity:	464
Enrolment:	412
Utilization:	88.8%
Instructional Program:	Basic academics plus computers, music, art, Headstart program, and LOGOS program.
Building Deferred Maintenance: (Aug. 2, 2011)	\$2,351,000
Building FCI: (Aug. 2, 2011)	23.68% (Fair)
Site Deferred Maintenance:	N/A
Parking Space Requirements:	30 Required, 38 Currently Available



————— PROPERTY LINE
- - - - - UTILITY RIGHT OF WAY





The location of the administration area in relation to the front entrance is good but visibility could be improved to make the entrance more welcoming and improve supervision.



The administration area is large but could be reconfigured to have more effective use of the space and to increase storage.



With access to natural light, the centrally located library provides a great opportunity to provide a true learning commons approach with a variety of learning spaces through the use of furniture.



Barrier-free access needs to be improved for all washrooms in terms of stall size, counter heights and clearances, and urinals.



The stage area does not have permanent accessibility and a lift is required to be booked for student access.



The front lane is able to accommodate the number of buses, but congestion is an issue between buses and vehicles due to the narrow lane width.



The existing 1977 modular classrooms are in poor condition and require replacement.



Due to the large number of severely coded students, there is a need for a large number and variety of counselling and sensory spaces in the school.

SUMMARY STATEMENT

A well laid out building in terms of circulation and community use, the building requires additional measures to address accessibility, outside counselling spaces, and site congestion.

OBSERVATIONS, COMMENTS, AND RECOMMENDATIONS

- 1. Site Drainage:** The bus lane relies on a sump which pumps the water out to the soccer field. This is required due to the site being lower in elevation than the main street, but it is not ideal to rely on a mechanical means to remove storm water. In addition, this configuration has created a small creek on the site.
- 2. Modular Classrooms:** The 1977 portable classrooms on the South and East side of the school are in poor condition and should be replaced. It was noted that there is uneven flooring, cracking occurring in walls, and windows not opening due to movement. While the furnaces were felt to be acceptable, the units should be replaced in the near future.
- 3. Mechanical Systems:** It was noted that the ventilation system in the ECS and music rooms is not effective. Based on the latest RECAPP report, there are a number of mechanical items that are nearing the end of their design life and a comprehensive review of the mechanical system should be undertaken. This will also address the issue of the air distribution system being very loud in the principal and vice-principal offices, where they have turned off the systems in order to have more quiet spaces.
- 4. Interior Circulation:** It was noted that the washrooms were congested due to the number of students accessing them which then causes longer wait times between classes. This could be alleviated by adding a modular washroom unit to the site when the portables are replaced.

Due to the washrooms available for after hours community use, it was noted there is congestion in these washrooms as well.

It was pointed out that there are only 2 washrooms for 54 staff which causes line ups between classes and at breaks. This should be increased to three washrooms based on the building code requirements.

The school offers programming to students as young as 2 1/2 years old so change facilities should be provided.

Only a few entrances are used by students which causes congestion at the entrances as students change in and out of outdoor clothes and boots. While it is difficult to address this without a major modernization to the building, there is potential to utilize more entrances for student access.

The community uses the gym, kitchen, and washrooms. The existing lock off points are acceptable for maintaining security to the rest of the school during after hours use.

- 5. Site Amenities:** It was noted that an exterior fire alarm bell is not on the front of the school. It should be reviewed with the code authority for the requirements.

It was pointed out that the front sidewalk along the access lane is too narrow so conflicts occur with car doors and pedestrian traffic. The sidewalk should be widened to allow for doors to be fully opened with adequate space for pedestrian traffic.

There is a portion of the front street that is not paved and causes issues with potholes and drainage in the spring.

Due to the configuration of the site and being located at the end of a closed loop at the end of 37 Avenue, there is considerable congestion on the site for both parent vehicles and buses. While there is enough length to accommodate all of the buses, the narrow front lane causes congestion and there are issues with cars parking within the turning radius of the buses.

It was identified that there is not enough parking, although currently the parking lot meets the bylaws. This is likely due to the fact that there are a large number of therapists at the school which increases the parking requirements.

Additional site lighting is required for the West parking lot. Lighting along the front of the school is adequate.

The play structures are considered adequate and there are no concerns for accessibility.

For site security, there are two generations of cameras which are of poor quality and placement. Parts of the school cannot be seen, specifically the back playground and the dumpster area.

- 6. Administration Areas:** The administration area is large but could be reconfigured to have more effective use of the space and to increase storage.

The location of the administration area in relation to the front entrance is good but visibility could be improved to make the entrance more welcoming and improve supervision.

- 7. Barrier-Free Accessibility:** It was noted that increased access to change tables is required and access into the building needs improvement.

There is barrier-free access at the main entrance, but this should be improved upon so that 50% of the building entrances are barrier-free as per the accessibility code.

The infirmary is used for one student who is catheterized which causes congestion issues if there are other students who are feeling ill and using the space.

The stage area does not have built-in barrier-free accessibility. A lift is used for students but this needs to be booked with the School Division.

Grab bars have been installed in washrooms to increase barrier-free accessibility but more measures are required with regards to space and circulation.

- 8. Interior Programming:** The PA system speakers are not fully functioning, with only one in operation.

The school has a large proportion of high needs students, with 72 severe coded students. This requires access to calmer spaces within the school and results in a large number of spaces being used by counsellors and therapists.

The existing windows are small in relation to the classroom area - it was noted that more natural light and natural ventilation would be beneficial.

Additional collaborative spaces are required throughout the school. This is in relation to the number of quiet therapy spaces required, but also due to the configuration of the school. The centrally located library pod provides a great opportunity to provide a true learning commons approach with a variety of learning spaces through the use of furniture.

The school is well zoned for louder activities so it was not noted that noise transfer is an issue between spaces.

Due to the programming offered in the school, it was identified that there is not enough storage for equipment. However, a sea can is available on the site and is used for larger storage.

The gym is an acceptable size in accordance with the guidelines but scheduling is an issue. However, a divider curtain is used in order to double up classes.

The acoustics in the gymnasium are acceptable but it was identified that speakers are required.

It was identified that there is not enough space for external therapists. The general office and learning commons pod could be reconfigured to provide additional spaces.

An existing classroom is used for smudging ceremonies. The space should be design mechanically to properly accommodate this activity.

- 9. Washroom Fixtures:** existing school: 13 male / 11 female
code requirement: 8 male / 10 female

RECAPP RECOMMENDATIONS 2015 - 2025 (Lifecycle Replacement)

1. Exterior:

- Replace caulking on window and door frames
- Replace aluminum frame windows
- Replace front entrance door
- Replace metal utility doors
- Replace entire roof with SBS

2. Interior:

- Replace metal toilet partitions
- Replace metal lockers
- Replace peg board in music rooms
- Repaint concrete floor in mechanical rooms
- Replace resilient flooring throughout
- Replace carpet in music room, library, and resource room, admin, and staff areas
- Replace acoustic ceiling tiles
- Replace laminate countertops and fixed casework throughout

3. Mechanical:

- Replace stainless steel sinks
- Replace showers
- Replace drinking fountains
- Replace all washroom fixtures (toilets, urinals, sinks)
- Replace domestic water valves, backflow preventers, vacuum breakers, domestic hot water recirculation pump, steam boiler softener unit, domestic hot water heater, pipe insulation, steam boiler, type 'B' gas vents, hot water heating boilers, hot water in-line pumps, chimney breeching, air handling units, hot water distribution system, air coils, humidifiers, fan coil units, perimeter radiation, unit heaters, thermostats/electric controllers, pneumatic control system, and commercial rangehood fire protection system
- Paint natural gas branch line

4. Electrical:

- Replace service and distribution dashboard
- Replace branch circuit panelboards
- Replace magnetic and manual starters
- Replace fluorescent fixtures
- Replace emergency lighting battery packs
- Replace fire alarm system, control panel and field devices
- Replace public address system

- Replace diesel generator

5. Modulars (1977 and 1982 units)

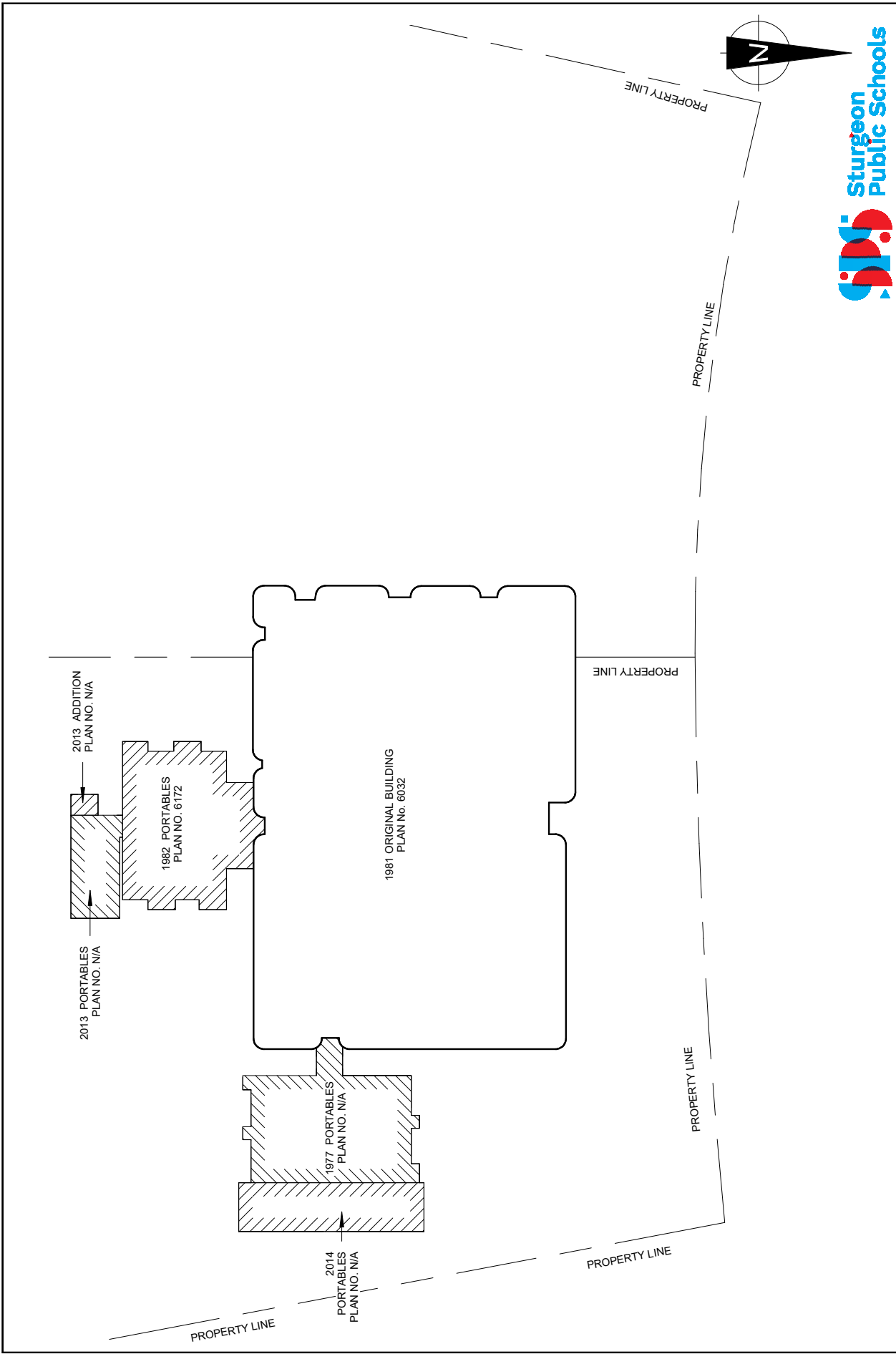
- Replace roofing with SBS
- Replace building envelope, windows, doors
- Replace electrical system
- Replace interiors, doors, display boards, lockers, vinyl floor tiles, acoustic ceiling tiles, wood shelves, blinds
- Replace mechanical system

AREA COMPARISON CHART


**LANDING TRAIL SCHOOL
GRADES K-4**

Existing School (464 Capacity)		Provincial Guidelines (450 Capacity K-6 School)		Variance
Instructional Space		Instructional Space		
	Total Area		Total Area	
18 Classrooms	1276.3	12 Classrooms @ 80m2	960	316.30
1 Science Classrooms	85.8	2 Science Classrooms @ 95m2	190	(104.20)
0 Large Ancillary	0	1 Large Ancillary @ 130m2	130	(130.00)
3 Small Ancillary	249.8	3 Small Ancillary @ 90m2	270	(20.20)
1 Gymnasium	481.6	1 Gymnasium	430	51.60
Gym Storage	36.4	Gym Storage	43	(6.60)
1 Library	255.4	1 Library	180	75.40
Subtotal:	2385.3	Subtotal:	2203	182.30
Total Instructional	2385.3	Total Instructional Area:	2203	182.30
Number of Instructional Spaces:	24	Number of Instructional Spaces:	20	4
Non-Instructional Space		Non-Instructional Space		
	Total Area		Total Area	
Admin/Staff Areas	386.1	Admin/Staff Areas	307	79.10
Wrap Around & Collaboration Space	70.1	Wrap Around & Collaboration Space	30	40.10
Mechanical & Meter Rooms	141.4	Mechanical & Meter Rooms	162	(20.60)
Recycle Room (LEED)	0	Recycle Room (LEED)	11	(11.00)
Physical Education	73.3	Physical Education	70	3.30
Circulation	745.9	Circulation	551	194.90
Wall Area	301.66	Wall Area	264	37.66
Storage	190	Storage	77	113.00
Washrooms	76.7	Washrooms	54	22.70
Accessible Washroom Facility	0	Accessible Washroom Facility	12	(12.00)
Flexible Space	0	Flexible Space	108	(108.00)
Wiring Network	0	Wiring Network	30	(30.00)
Total Non-Instructional	1985.16	Total Non-Instructional	1676	309.16
Total Area	4370.46	Total Area	3879	491.46
Area per Student	n/a	Area per Student	8.62	

NOTES:



STURGEON SCHOOL DIVISION NO. 24


 **Sturgeon Public Schools**

LANDING TRAIL SCHOOL			
5301 - 37 AVENUE, GIBBONS, AB			
BID:	F0291	SITE PLAN	FAC CODE: 2512
DATE: 10/01/2019	DWN BY: BB	A.I.	SHEET: 1 OF 4
CONSTRUCTION	DATE	SCALE: 1 : 750	
REV.			

LEGAL DESCRIPTION:
 LOT #1MSR
 BLOCK 35
 PLAN 8220690
 NE Sec 3 Twp 56 R23 W4
 GIBBONS, ALBERTA

REV. **CONSTRUCTION** **DATE** **SCALE: 1 : 750**

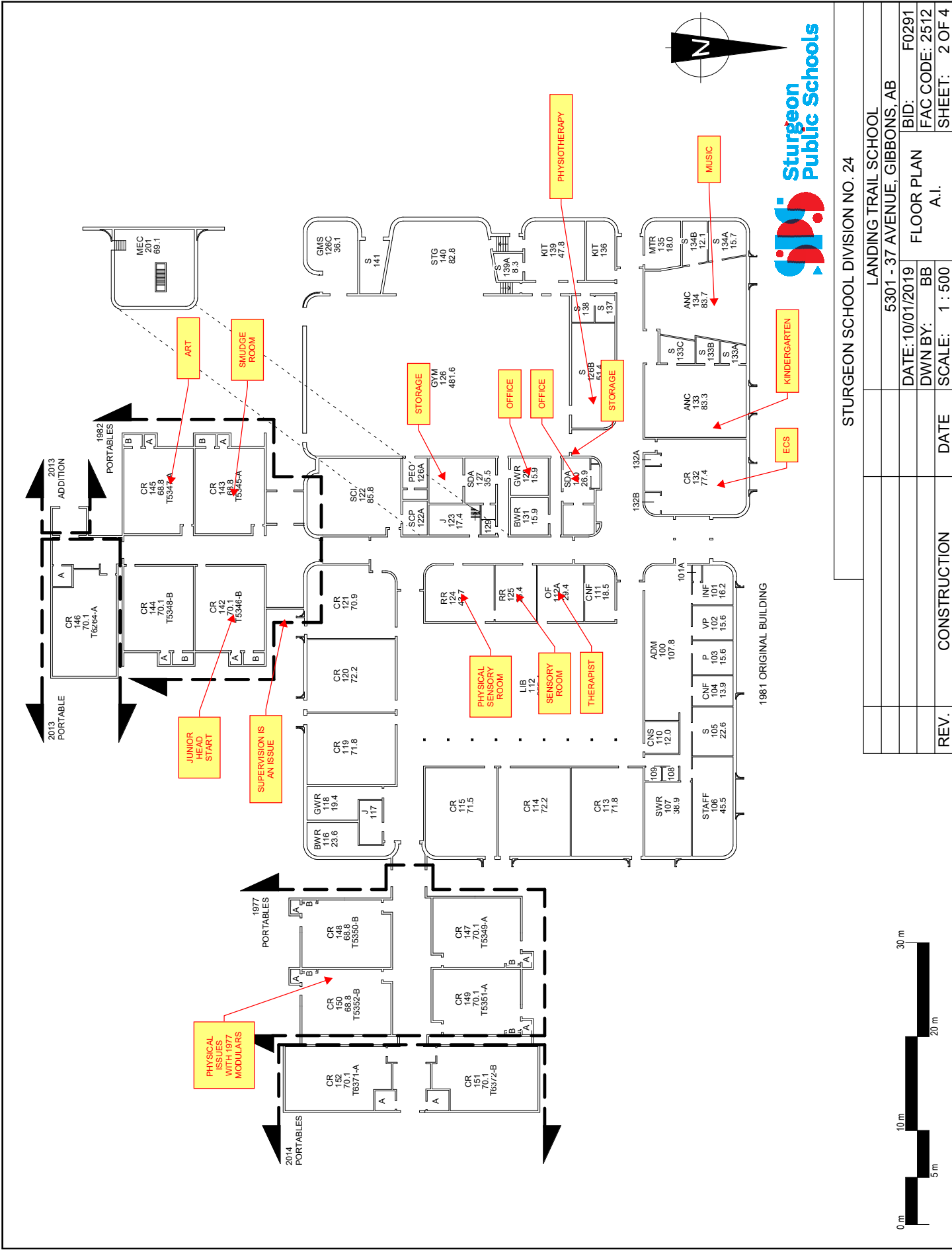
STURGEON SCHOOL DIVISION NO. 24

 **Sturgeon Public Schools**

LANDING TRAIL SCHOOL
 5301 - 37 AVENUE, GIBBONS, AB

BID: F0291
 DATE: 10/01/2019
 DWN BY: BB
 SITE PLAN A.I.
 FAC CODE: 2512
 SHEET: 1 OF 4

0 m 5 m 10 m 20 m 30 m



STURGEON SCHOOL DIVISION NO. 24

LANDING TRAIL SCHOOL		5301 - 37 AVENUE, GIBBONS, AB	
DATE: 10/01/2019	DWN BY: BB	FLOOR PLAN	BID: F0291
CONSTRUCTION	DATE	A.I.	FAC CODE: 2512
REV.	SCALE: 1 : 500	SHEET: 2 OF 4	



4. Priorities

PRIORITY #1 - ADDITIONAL CLASSROOM SPACE IN LEGAL, AB

Instructional space in Legal is an important priority for the Board of Trustees. In 2012, the Alberta Government through the St. Albert and Sturgeon Valley School Districts Act, directed Sturgeon Public Schools to provide Public Education to students residing in Legal (and area) and Morinville (and area). Unfortunately, this direction did not include the provision of instructional space in Legal, AB. In the absence of instructional space in Legal, Sturgeon Public Students face long bus rides to access Public Education.

Capital Submission Year:	2021-2022
Capital Program:	School Facilities
Title:	Sturgeon Public Schools
Project Sub-Category:	Expansion Facilities
Key Drivers:	Utilization and Program
Client Name:	Sturgeon Public Schools
Client Ranking:	1
Original Capital Plan Submission Year:	2020-2021
School Facility Name:	N/A
Constituency:	Athabasca - Sturgeon - Redwater
Location:	Legal, AB

DESCRIPTION OF PROJECT SCOPE:

Legal School is under utilized and has space to accommodate Sturgeon Public's request. The Board of Sturgeon Public, requested instructional space from Greater St. Albert Catholic Schools, however they declined the request. Copies of this correspondence is attached for reference.

The Division currently transports in excess of 60+ students from the Town of Legal and requires 4 classroom spaces, ancillary space, and administration space to accommodate a growing public school student population.

APPROXIMATE CONSTRUCTION COST: \$850,000

Joe Becigneul, Board Chair
Greater St. Albert Catholic Schools
6 St. Vital Avenue
St. Albert, AB T8N 1K2



February 13, 2020

Dear Chair Becigneul,

In 2015, Sturgeon Public Schools was pleased to participate in the Legal Schools Value Scoping Workshop. The sixteen participants engaged in a robust dialogue that placed the educational interests of the children and families resident in Legal, first. The final report provided two options to address the educational needs of students served by Sturgeon Public Schools, Conseil Scolaire Centre-Nord and Greater St. Albert Catholic Schools. It is most unfortunate that this body of work was unable to achieve its intended outcome.

The Board has reviewed our Capital requirements for the next ten years and has confirmed the continued need for instructional space to support Public Education within the Town of Legal. We understand that there is instructional space available within Legal School and believe that Greater St. Albert Catholic and Sturgeon Public Schools, can share space in a manner that models to our constituents our commitment to placing the interests of our students first.

Sturgeon Public Schools is formally requesting access to four classrooms, use of gymnasium space and appropriate ancillary spaces within Legal School. This request for instructional space has been included in our Capital Plan and is at the direction of the Minister of Education.

I look forward to our work together on this important collaborative opportunity,

Yours in Public Education,



Terry Jewell, Board Chair
Sturgeon Public Schools

cc: Honourable LaGrange, Minister of Education
Honourable Nally, Associate Minister of Natural Gas
MLA Shane Getson, Lac Ste. Anne - Parkland
Board of Trustees, Sturgeon Public Schools
Board of Trustees, Greater St. Albert Catholic Schools
Mary Lynne R. Campbell, Superintendent/CEO, Sturgeon Public Schools
David Keohane, Superintendent, Greater St. Albert Catholic Schools
File

Frank Robinson Education Centre
9820-104 Street, Morinville, AB T8R 1L8

P: 780.939.4341
F: 780.939.5520

TF: 1.888.459.4062
E: frec@sturgeon.ab.ca





February 20, 2020

Terry Jewell, Board Chair
Sturgeon Public Schools
Frank Robinson Education Centre
9820 - 104 Street
Morinville, AB T8R 1L8

Dear Mr. Jewell,

We acknowledge receipt of your request for four classrooms, use of gymnasium space and appropriate ancillary spaces within Legal School.

Operating our school in Legal so that it optimizes Catholic education in a fully-permeated manner is a requirement of our Catholic Separate School Division. Given this need, sharing space to realize our mandate while keeping public education free from faith permeation requires thoughtful planning and assistance from the Ministry.

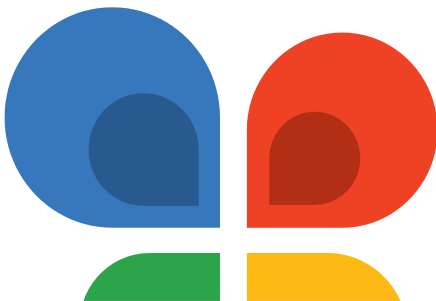
The value management / scoping protocol that your letter references was conducted because at the time it was not possible to simply bring partners into existing instructional space to make the unique needs of three school jurisdictions possible. That same reality remains true today.

We have been in contact with the Ministry of Education since receiving your letter and we are anticipating continuing to seek its assistance so that our programming needs may continue to be met as previously outlined.

Best wishes,

Joe Becigneul
Board Chair

cc: Board of Trustees, Greater St. Albert Catholic Schools
Board of Trustees, Sturgeon Public Schools
Mary Lynne Campbell, Superintendent, Sturgeon Public Schools
David Keohane, Superintendent of Schools, Greater St. Albert Catholic Schools



6 St. Vital Avenue St. Albert,
Alberta, Canada T8N 1K2

T: 780.459.7711
F: 780.458.3213

gsacrd.ab.ca

**PRIORITY #2 - MORINVILLE PUBLIC SCHOOL MODERNIZATION / REPLACEMENT
- MORINVILLE, AB**

With a large number of enrolments and utilization rates in recent years, the school required a large number of portables and modular classrooms to be added to the site. The result is a very large, spread out, and poorly functioning school with an increasingly tight site. With students pressures being taken off by the opening of Four Winds, a major reconfiguration or replacement of the school and site is required.

Capital Submission Year:	2021-2022
Capital Program:	School Facilities
Title:	Sturgeon Public Schools
Project Sub-Category:	Modernization - Replacement Facilities
Key Drivers:	Health and Safety and Program
Client Name:	Sturgeon Public Schools
Client Ranking:	2
Original Capital Plan Submission Year:	2018-2019
School Facility Name:	Morinville Public School
Constituency:	Barrhead - Morinville - Westlock
Location:	10020 - 101 Avenue, Morinville, AB

DESCRIPTION OF PROJECT SCOPE:

Reduction of the number of modulars on the site in order to right-size to the current enrolment and capacity.

Major modernization of the existing school in order to more effectively deliver programming to students and bring the facility in line with the Alberta Education Guidelines. If the cost of a modernization exceeds 75% of the cost of new construction, a replacement school on the same site with a capacity of 650 students.

PROJECT BENEFITS:

As outlined in the attached relevant portion of the Sturgeon Public Schools Facility Plan, the school has been housing two student populations until January 2020. With the school now only serving grades K-4, the footprint of the school needs to be reduced to reflect the revised capacity.

With the additions to the school over time, the school is no longer effectively laid out for efficient programming and supervision. The following proposed layout reduces the footprint of the school and reconfigures spaces to address these issues.

APPROXIMATE CONSTRUCTION COST: \$10,370,000 - \$16,400,000



ONPA architects
650 CAPACITY K-4
A1



MORINVILLE PUBLIC SCHOOL

AREA COMPARISON CHART

**MORINVILLE PUBLIC SCHOOL
GRADES K-4**

Modernized School 663 Capacity		Provincial Guidelines (650 Capacity School -Grades K-4)		Variance
Instructional Space		Instructional Space		
	Total Area		Total Area	
18 Classrooms	1455	18 Classrooms @ 80m2	1440	15.00
0 Science Classrooms	0	0 Science Classrooms @ 120m2	0	0.00
3 Science Classrooms	277	3 Science Classrooms @ 95m2	285	(8.00)
2 Large Ancillary	276	2 Large Ancillary @ 130m2	260	16.00
3 Small Ancillary	261	3 Small Ancillary @ 90m2	270	(9.00)
0 Info Services	0	0 Info Services @ 115m2	0	0.00
1 Gymnasium	620	1 Gymnasium	595	25.00
Gym Storage	60	Gym Storage	60	0.00
1 Library	260	1 Library	260	0.00
0 CTS	0	0 CTS	0	0.00
Subtotal:	3209	Subtotal:	3170	39.00
Total Instructional	3209	Total Instructional Area:	3170	39.00
Number of Instructional Spaces:	28	Number of Instructional Spaces:	28	0
Non-Instructional Space		Non-Instructional Space		
	Total Area		Total Area	
Admin/Staff Areas	390	Admin/Staff Areas	397	(7.00)
Wrap Around & Collaboration Space	40	Wrap Around & Collaboration Space	40	0.00
Mechanical & Meter Rooms (including 30m ² Wiring and 11m ² Recycle)	195	Mechanical & Meter Rooms (including 30m ² Wiring and 11m ² Recycle)	230	(35.00)
Recycle Room (LEED)	0	Recycle Room (LEED)	0	0.00
Physical Education	115	Physical Education	95	20.00
Circulation	792	Circulation	792	0.00
Wall Area	380	Wall Area	380	0.00
Storage	111	Storage	111	0.00
Washrooms (Including 24m ² Accessible)	171	Washrooms (Including 24m ² Accessible)	102	69.00
Accessible Washroom Facility	0	Accessible Washroom Facility	0	0.00
Flexible Space	156	Flexible Space	156	0.00
Wiring Network	0	Wiring Network	0	0.00
Total Non-Instructional	2350	Total Non-Instructional	2303	47.00
Total Area	5559	Total Area	5473	86.00
Area per Student	n/a	Area per Student	8.42	

PRIORITY #3 - LANDING TRAIL MODERNIZATION - GIBBONS, AB

The site has significant issues regarding traffic circulation. There is congestion with buses and parent vehicles due to narrow lanes and with the location of the school requiring all traffic to turn 180 degrees. There is inadequate staff parking and the gravel parking lot to the West has poor drainage and rutting.

The modularity on the East side of the school are in poor condition and require replacement. With utilization reaching nearly 90%, congestion in a number of interior spaces is being noted. Congestion at washrooms physical activity scheduling has been noted. The school has a high number of severely coded students and is in need of calm spaces. In addition, the school has a number of early years students, some as young as 2 1/2 years old so more change facilities are required.

Capital Submission Year:	2021-2022
Capital Program:	School Facilities
Title:	Sturgeon Public Schools
Project Sub-Category:	Modernization - Facilities
Key Drivers:	Utilization and Program
Client Name:	Sturgeon Public Schools
Client Ranking:	3
Original Capital Plan Submission Year:	2020-2021
School Facility Name:	Landing Trail School
Constituency:	Athabasca - Sturgeon - Redwater
Location:	5301 - 37 Avenue, Gibbons, AB

DESCRIPTION OF PROJECT SCOPE:

Modernization of the core of the school to meet the specific programming requirements of the school and reconfigure spaces that are inefficient or have poor functionality, replacement of the existing mechanical system, and reconfiguration of the site layout and drainage.

Reduction in the number of modular classrooms and replacement of existing portables that are past their design life.

PROJECT BENEFITS:

As outlined in the attached relevant portion of the Sturgeon Public Schools Facility Plan, the school has seen higher utilization rates and serves a large number of severely coded students. These factors lead to congestion and a lack of counselling spaces.

In addition, the mechanical systems are nearing the end of their design life and are noted as poorly functioning.

The site layout results in congestion for parking and bus lane circulation.

APPROXIMATE CONSTRUCTION COST: \$5,200,000

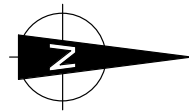


2 EXISTING MODULARS
SHIFTED CLOSER
TO SCHOOL

1 NEW
MODULAR

AREA FOR FUTURE
EXPANSION

4 EXISTING MODULARS
TO BE DEMOLISHED



LANDING TRAIL SCHOOL



AREA COMPARISON CHART

**LANDING TRAIL SCHOOL
GRADES K-4**

Existing School (464 Capacity)		Provincial Guidelines (450 Capacity K-6 School)		Variance
Instructional Space		Instructional Space		
	Total Area		Total Area	
12 Classrooms	851.3	12 Classrooms @ 80m2	960	(108.70)
2 Science Classrooms	150	2 Science Classrooms @ 95m2	190	(40.00)
1 Large Ancillary	145	1 Large Ancillary @ 130m2	130	15.00
3 Small Ancillary	249.8	3 Small Ancillary @ 90m2	270	(20.20)
1 Gymnasium	481.6	1 Gymnasium	430	51.60
Gym Storage	36.4	Gym Storage	43	(6.60)
1 Library	180	1 Library	180	0.00
Subtotal:	2094.1	Subtotal:	2203	(108.90)
Total Instructional	2094.1	Total Instructional Area:	2203	(108.90)
Number of Instructional Spaces:	20	Number of Instructional Spaces:	20	0
Non-Instructional Space		Non-Instructional Space		
	Total Area		Total Area	
Admin/Staff Areas	338	Admin/Staff Areas	307	31.00
Wrap Around & Collaboration Space	120	Wrap Around & Collaboration Space	30	90.00
Mechanical & Meter Rooms (including 30m ² Wiring and 11m ² Recycle)	141.4	Mechanical & Meter Rooms (including 30m ² Wiring and 11m ² Recycle)	203	(61.60)
Recycle Room (LEED)	0	Recycle Room (LEED)	0	0.00
Physical Education	65	Physical Education	70	(5.00)
Circulation	551	Circulation	551	0.00
Wall Area	264	Wall Area	264	0.00
Storage	190	Storage	77	113.00
Washrooms (Including 12m ² Accessible)	121	Washrooms (Including 12m ² Accessible)	66	55.00
Accessible Washroom Facility	0	Accessible Washroom Facility	0	0.00
Flexible Space	72	Flexible Space	108	(36.00)
Wiring Network	0	Wiring Network	0	0.00
Total Non-Instructional	1862.4	Total Non-Instructional	1676	186.40
Total Area	3956.5	Total Area	3879	77.50
Area per Student	n/a	Area per Student	8.62	